

Cataraqui Region Conservation Authority – Ontario Regulation 148/06: Development, Interference with Wetlands and Alterations to Shorelines and Watercourses

APPLICATION CHECKLIST

To ensure that your application will be processed in a timely manner, you must provide a complete application package that includes (check all applicable boxes):

- A completed signed and dated application form.
- A scaled plan view (top view) drawing (example plan view drawing is attached).
- A scaled cross-sectional (side view) drawing (example cross-section drawing is attached).

The above drawings must include (either as part of the illustration or as notes):

- name of applicant and legal description of the property (e.g. municipal street address, lot, concession, municipality);
- scale, date, and directional arrow;
- dimensions of the property (a copy of the legal survey is highly recommended).
- location and dimensions of all existing or proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes, beaches, on or adjacent to the property;
- location and type of sediment and erosion control measures (e.g. silt fence);
- soil stabilization measures proposed (e.g. seeding, sodding, planting);
- construction equipment and access routes to be used;
- location of cross section(s) indicated on the plan view drawing;
- four copies of drawings (only required if printed on paper larger than 11" x 17" in size).
- Photographs (highly recommended - digital format on CD acceptable).
- Application fee (see attached fee schedule).
- A signed Application Checklist form.
- A completed Landowner Authorization form (required if owner is assigning another party as an agent for the project).

Notes

1. The applicant is encouraged to submit copies of documents as originals may not be returned.
2. Calculations and notes from a qualified engineer or a licensed surveyor may be requested by the CRCA to support the application.
3. The applicant is responsible for ensuring compliance with any other applicable federal, provincial or municipal statutes, regulations or by-laws.

Signature of Owner / Agent

Date



CATARAQUI REGION CONSERVATION AUTHORITY

1641 Perth Road, P.O. Box 160 Glenburnie, Ontario K0H 1S0
 Phone: (613) 546-4228 Toll-free (613 area code): 1-877-956-CRCA
 Fax: (613) 547-6474 E-mail: crca@cataraquiregion.on.ca
 Websites: www.cleanwatercataraqui.ca & www.cataraquiregion.on.ca

Ontario Regulation 148/06 - Development, Interference with Wetlands & Alterations to Shorelines and Watercourses - Fee Schedule (Effective: April 1, 2010)

Category	Fee	Application Type
Group 1	\$125	<ul style="list-style-type: none"> Minor authorizations¹ Written property inquiry, permit requirement screening or project advice² letter that does not require a site inspection or meeting
Group 2	\$260	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements less than or equal to 20 square metres Fill³ less than or equal to 100 cubic metres Natural erosion control⁵ greater than 10 metres and less than or equal to 50 metres Seasonal dock greater than 15 square metres in surface decking and permanent, fixed or floating docks less than 45 square metres in surface decking Agricultural channel clean-outs and multiple agricultural tile outlets Channel⁷ or shoreline alterations⁸ less than or equal to 20 metres in length Written property inquiry or project advice letter that includes a site inspection, a site meeting or a floodplain survey
Group 3	\$400	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements greater than 20 square metres and less than or equal to 93 square metres Fill³ greater than 100 cubic metres and less than or equal to 500 cubic metres Grading greater than 0.01 hectares and less than or equal to 0.5 hectares Channel⁷ or shoreline alterations⁸ greater than 20 metres and less than or equal to 100 metres in length Infrastructure⁹ maintenance⁶ Single culvert replacements¹⁰ Permanent, fixed or floating docks greater than 45 square metres surface decking Natural erosion control⁵ greater than 50 metres Hard erosion control less than or equal to 20 metres Dredging less than or equal to 20 square metres in area
Group 4	\$720	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements greater than 93 square metres and less than or equal to 464 square metres Boathouse construction and reconstruction (80 square metres maximum) Fill³ greater than 500 square metres and less than or equal to 1,000 square metres Grading greater than 0.5 hectares and less than or equal to 1.0 hectare New infrastructure⁹, and bridge reconstruction Channel⁷ or shoreline alterations⁸ greater than 100 metres and less than or equal to 200 metres in length Hard erosion control greater than 20 metres and less than or equal to 200 metres Dredging greater than 20 square metres in area
Group 5	\$1450	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements greater than 464 square metres Multiple residential subdivision (maximum 10 lots grouped together) Fill³ greater than 1,000 square metres Grading greater than 1.0 hectare Infrastructure⁹ (bridge construction, culverts greater than 25 metre span, stormwater management pond/cell, water utility crossings) Channel⁷ or shoreline alterations⁸, including hard erosion control greater than 200 metres

Notes

- The permit fee will be reduced by 50% for applications made within one year of a directly related planning application.
- Applications that are amended or resubmitted after approval are subject to a 50% surcharge.
- Where appropriate, processing also includes review for fish habitat concerns under Section 35 of the *Fisheries Act*.
- Technical report review is included in the permit application fee.
- Permits are valid up to a maximum of two years from the date of issuance.
- A permit from the CRCA does not relieve the applicant from compliance with any other applicable federal, provincial or municipal statutes, regulations or by-laws.

¹ *Minor authorizations* include fill less than or equal to 4 cubic metres, *natural erosion control*⁵ measures less than or equal to 10 metres in length, seasonal docks (floating, aluminum post) less than 15 square metres surface decking, grading less than or equal to 0.01 hectares, single agricultural tile drain outlets, or other works that, in the opinion of CRCA staff, do not necessitate the issuance of a permit.

² *Project advice* may relate to the regulation, erosion, habitat, drainage, docks and construction.

³ *Fill* means the placement or removal of any material that alters the contour of the ground.

⁴ *Building* means a structure consisting of a wall, roof and floor or any of them, or a structural system serving the function thereof including all plumbing, works, fixtures and service systems or a sewage system.

⁵ *Natural erosion control* means measures to control erosion using live plants, natural or native rock.

⁶ *Maintenance* means the repair of a structure involving no change in the size, shape or location of the structure.

⁷ *Channel alterations* include channel diversions, or re-alignment.

⁸ *Shoreline alterations* include boat ramps, shoreline erosion protection, and solid structures on the bed of a waterbody.

⁹ *Infrastructure* includes bridges, culverts, pipelines, and utilities (i.e. cables, poles and pipes).

¹⁰ For replacement of multiple culverts, please contact the Conservation Authority



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Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Permit (per Ontario Regulation 148/06)

Office Use Only	
Appendix A to File No.	Date Received
Method of Payment	Amount Paid \$

Please read, complete each section as required, date and sign application form.

PART 1 OF 2

Owner Information

Name			
Mailing Address			
City		Postal Code	
Home Phone		Cell Phone	
Business Phone		Facsimile	
Email Address			

Contractor / Agent Information

Name			
Mailing Address			
City		Postal Code	
Business Phone		Cell Phone	
Facsimile			
Email Address			

Property Information

Lot(s)		Concession(s)	
Registered Plan No.		Sub-lot No.	
Municipality		Ward / Former Twp.	
Civic Address			
Assessment Roll No.		Waterbody	
Directions to Property			

Application is hereby made to (check all that apply):

- Develop (e.g. upland construction, filling, site grading);
- Interfere with a Wetland (e.g. construction, filling, site grading adjacent to a wetland);
- Alter a Shoreline / Watercourse (e.g. bridges, culverts, channel or shoreline alterations, erosion control, dredging, docks, boathouses).

Description of Proposed Work (attach separate sheets if required)

Approximate Dimensions and Timing of Proposed Work

Fill Volume (cubic m.)		Area of Grading (sq. m.)	
Structure Dimensions (m.)		Structure Size (sq. m.)	
Shoreline Length (m.)		Channel Length (m.)	
Start Date:		Completion Date:	

Property Details

Existing Use of the Property			
Proposed Use of the Property (if different from above)			
Planning Act Requirements (e.g. severance, minor variance, zoning by-law amendment)	<u>Yes</u>	<u>No</u>	<u>Unknown</u>
Does the Project Require Planning Act Approval?			
Is There a Concurrent Planning Act Application?			
Has There Been a Planning Act Decision in the Last 12 Months?			

Standard Conditions of Permit

1. Permits granted by the Cataraqui Region Conservation Authority (CRCA) are valid for up to two years from the date of issue and are not transferable. Consent is hereby given to the CRCA, its employees, and designates to access the property for the purpose of obtaining information, monitoring any approved construction, and any and all other works or activities related to the permission.
2. Permits granted by the CRCA do not exempt the applicant from obtaining permission from other agencies, boards, governments, or other approvals as may be required. It is the responsibility of the owner to ensure that a valid permit is in effect at the time the work is occurring.
3. Any false information or misleading statements made on this application will render any permission granted by the Cataraqui Region Conservation Authority null and void.

Authorized Signature

I declare that I have read and agree to the standard conditions of the permit application and that all of the information provided is correct to the best of my knowledge.	
Signature of Owner(s)	Date
Signature of Solicitor/Contractor/Agent*	Date

***A Landowner Authorization form (attached) is required if the solicitor/contractor/agent is completing the application form on behalf of the owner(s).**

LANDOWNER AUTHORIZATION

If an application is to be submitted by a solicitor/contractor/agent on behalf of the legal owner(s) of the subject property, this Landowner Authorization form must be completed and signed by the owner(s). If the owner is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed. Authority staff reserve the right to discuss any or all aspects of the permitting process with the property owner.

If the application is to be prepared by a solicitor/contractor/agent, authorization should not be given until the application and its attachments have been examined and approved by you, the owner(s).

I / WE _____, being the legal owner(s) of the property
described as Lot _____, Concession _____, Part / Lot No. _____, on Plan _____,
in the Municipality / Township of _____, located at
Civic Address _____ and having a Tax Assessment Roll Number
of _____, hereby authorize _____,
(Print full name of solicitor/contractor/agent)

to submit the enclosed application to the Cataraqui Region Conservation Authority and to provide any information or material required by Authority staff relevant to the application for the purposes of obtaining a permit in accordance with the requirements of Ontario Regulation 148/06.

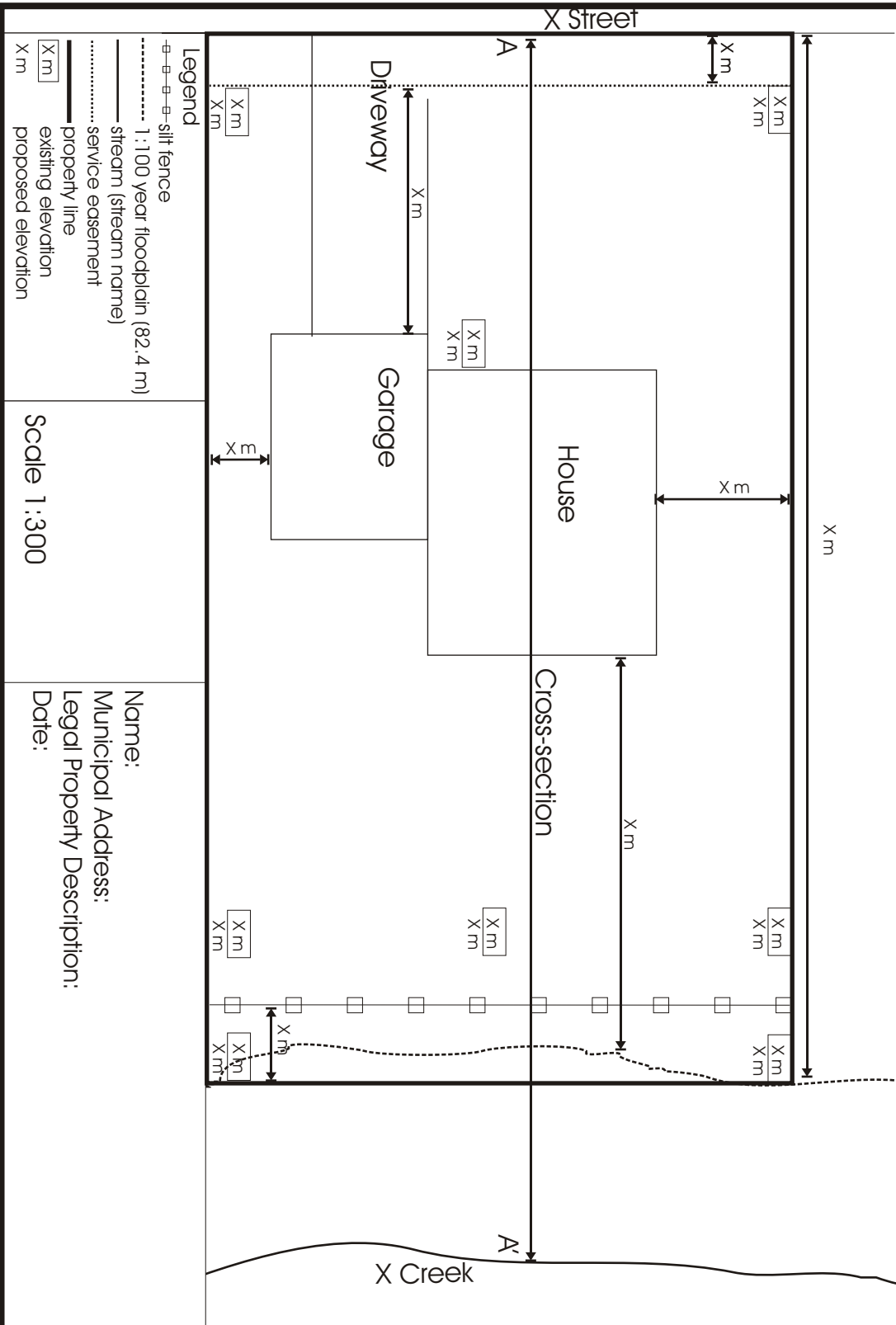
Signature of Legal Owner _____ Date _____

Signature of Legal Owner _____ Date _____

*** NOTE: If land is held as Tenants-in-Common, all registered owners must sign this form.**

Plan View Drawing Example

Development and Grading



Legend

- $\text{---}\square\text{---}$ silt fence
- $\text{---}\text{---}\text{---}$ 1:100 year floodplain (82.4 m)
- $\text{---}\text{---}\text{---}$ stream (stream name)
- $\text{---}\text{---}\text{---}$ service easement
- $\text{---}\text{---}\text{---}$ property line
- $\text{---}\text{---}\text{---}$ existing elevation
- $\text{---}\text{---}\text{---}$ proposed elevation

Scale 1:300

Name:
Municipal Address:
Legal Property Description:
Date:

Example Drawing Notes

- 1) Light duty woven silt fence
- 2) Such fence will be maintained until vegetation has been reestablished on all bare soil areas created during construction.
- 3) Once vegetation has been reestablished the silt fence will be removed and any material built up behind the fence placed in a suitable upland location.
- 4) The lot will be vegetated by September 30 of this year.
- 5) No fill will be placed or graded in the floodplain.



Cross-section Drawing Example

Development and Grading

