

**Cataraqui Region Conservation Authority - Ontario Regulation 148/06
Development, Interference with Wetlands and Alterations to Shorelines and Watercourses**

Application Instructions

A completed application includes:

1. A filled in application form (blank form attached).
2. Four copies of drawings, as outlined below, submitted on 11" x 17" paper or smaller. Exception to the paper size requirement may be made if a small version makes it difficult to read text.
3. Payment of the appropriate fee (see attached fee schedule).
4. A letter of permission from the owner must be included, if applicant is different from the landowner.

DRAWINGS: All applications must include a scaled plan view (top view) and at least one scaled cross-sectional (side view) drawing of the proposed work indicating the following, either as part of the illustration or as notes:

- ◆ name of applicant and property location (i.e. municipal street address, lot, concession, municipality)
- ◆ scale and directional arrow
- ◆ location of the property in relation to surrounding buildings, roads, fences, hydro poles and other physical features
- ◆ dimensions of the property, any required setbacks or conditions pertinent to the work (e.g. Zoning By-law, subdivision agreements) and the proposed work area
- ◆ location and dimensions of all existing or proposed structures, grading, filling, excavating, pipes, stockpiling, on the subject property, and the distance to any waterbody(s) (i.e. wetlands, streams, lakes), valleys and steep slopes, beaches, wood lots, on or adjacent to the property
- ◆ proposed sediment and/or erosion control type(s) and locations
- ◆ restoration plan (seeding, planting/stabilization)
- ◆ construction equipment and access routes to be used
- ◆ location of the cross section(s)

Specific application types require the following **in addition** to all of the above details:

Application Type	Plan View Drawing	Cross-sectional Drawing
Development (including grading)	<ul style="list-style-type: none"> • location and extent (footprint) of existing and/or proposed buildings, structures and sewage treatment system • location and elevations (floodplain only) of regulatory hazard limits (i.e. floodplain, erosion, dynamic beach) • proposed limits of grading/filling • existing and proposed drainage patterns 	<ul style="list-style-type: none"> • proposed use of each floor in the structure(s) • elevation of all exterior openings (e.g. door, windows, vents) on the first floor and lower • existing and proposed grade and elevations of the land
Interference with Wetlands	<ul style="list-style-type: none"> • location, extent and dimensions of the area to be altered • drainage patterns (existing and proposed) • volume of fill, if applicable • existing and proposed drainage patterns 	<ul style="list-style-type: none"> • existing and proposed grade and elevations of the land
Alterations to Shorelines and Watercourses	<ul style="list-style-type: none"> • location and dimensions of all proposed alterations to the waterbody, including excavation, fill, retaining structures, • gradient (both existing and proposed for watercourses) of the land along the entire length of the proposed alteration • mitigation measures to maintain flows and to protect the ecology of the surrounding area 	<ul style="list-style-type: none"> • depth and width of the existing watercourse and of the proposed alterations/pond/wetland • existing and proposed slope of the channel banks/shore • any proposed structure/material along the banks (e.g. fill, retaining wall) • location and extent of the proposed structural method of holding the fill in place (e.g. gabions, rip rap, retaining wall) • type of fill to be used • current and proposed gradient of the watercourse

Notes

All fill must be clean material.

All elevations to be referenced to geodetic datum (above sea level).

Calculations and notes from a qualified Engineer or a licensed Surveyor may be requested by the CRCA to support applications, as deemed warranted.

All matters including, but not limited to grading, drainage, property boundaries and ownership, compliance with municipal by-laws and regulations remain the responsibility of the applicant and the Cataraqui Region Conservation Authority (CRCA) assumes no liability.



CATARAQUI REGION CONSERVATION AUTHORITY

1641 Perth Road, P.O. Box 160 Glenburnie, Ontario K0H 1S0

Phone: (613) 546-4228 Fax: (613) 547-6474

E-mail: crca@cataraquiregion.on.ca Website: www.cataraquiregion.on.ca

Ontario Regulation 148/06 - Development, Interference with Wetlands & Alterations to Shorelines and Watercourses – Fee Schedule (Effective: May 1, 2008)

Category	Fee	Application Type
Group 1	\$120	<ul style="list-style-type: none"> Minor authorizations¹ Written property inquiry, permit requirement screening or project advice² letter that does not require a site inspection or meeting
Group 2	\$250	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements less than or equal to 20 square metres (sq. m.) Fill³ less than or equal to 100 cubic metres Natural erosion control⁵ greater than 10 metres and less than or equal to 50 metres Seasonal dock greater than 15 sq. m. in surface decking, and permanent, fixed or floating docks less than 45 sq. m. in surface decking Agricultural channel clean-outs and multiple agricultural tile outlets Channel⁷ or shoreline alterations⁸ less than or equal to 20 m in length Written property inquiry or project advice letter that includes a site inspection, a site meeting or a flood plain survey
Group 3	\$385	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements greater than 20 sq. m. and less than or equal to 93 sq. m. Fill³ greater than 100 cubic metres and less than or equal to 500 cubic metres Grading greater than 0.01 hectares (ha) and less than or equal to 0.5 ha Channel⁷ or shoreline alterations⁸ greater than 20 m and less than or equal to 100 m in length Infrastructure⁹ maintenance⁶ Permanent, fixed or floating docks greater than 45 sq. m. surface decking Natural erosion control⁵ greater than 50 m Hard erosion control less than or equal to 20 m Dredging less than or equal to 20 sq. m. in area
Group 4	\$685	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements greater than 93 sq. m. and less than or equal to 464 sq. m. Boathouse construction and reconstruction (80 sq. m. maximum) Fill³ greater than 500 cubic metres and less than or equal to 1,000 cubic metres Grading greater than 0.5 ha and less than or equal to 1.0 ha New infrastructure⁹, and bridge reconstruction Channel⁷ or shoreline alterations⁸ greater than 100 m and less than or equal to 200 m in length Hard erosion control greater than 20 m and less than or equal to 200 m Dredging greater than 20 sq. m. in area
Group 5	\$1370	<ul style="list-style-type: none"> Buildings⁴, additions, reconstruction, basements greater than 464 sq. m. Multiple residential subdivision (maximum 10 lots grouped together) Fill³ greater than 1,000 cubic metres Grading greater than 1.0 ha Infrastructure⁹ (bridge construction, culverts greater than 25 m span, stormwater management pond/cell, water utility crossings) Channel⁷ or shoreline alterations⁸, including hard erosion control greater than 200 m

Notes

- The permit fee will be reduced by 50% for applications made within one year of a directly related planning application.
- Applications that are amended or resubmitted after approval are subject to a 50% surcharge.
- Where appropriate, processing also includes review for fish habitat concerns under Section 35 of the *Fisheries Act*.
- Technical report review is included in the permit application fee.
- Permits are valid up to a maximum of two years from the date of issuance.
- Retroactive permit application fees for infractions will be twice those noted above.
- Applications heard by the board will be subject to a 50% surcharge.
- A permit from the CRCA does not relieve the applicant from compliance with any other applicable federal, provincial or municipal statutes, regulations or by-laws.

¹ *Minor authorizations* include fill less than or equal to 4 cubic metres, *natural erosion control*⁵ measures less than or equal to 10 metres in length, seasonal docks (floating, aluminum post) less than 15 m² surface decking, grading less than or equal to 0.01 ha, single agricultural tile drain outlets, or other works that, in the opinion of CRCA staff, do not necessitate the issuance of a permit.

² *Project advice* may relate to the regulation, erosion, habitat, drainage, docks and construction.

³ *Fill* means the placement or removal of any material that alters the contour of the ground.

⁴ *Building* means a structure consisting of a wall, roof and floor or any of them, or a structural system serving the function thereof including all plumbing, works, fixtures and service systems or a sewage system.

⁵ *Natural erosion control* means measures to control erosion using live plants, natural or native rock.

⁶ *Maintenance* means the repair of a structure involving no change in the size, shape or location of the structure.

⁷ *Channel alterations* include channel diversions, or re-alignment.

⁸ *Shoreline alterations* include boat ramps, shoreline erosion protection, and solid structures on the bed of a waterbody.

⁹ *Infrastructure* includes bridges, culverts, pipelines, and utilities (i.e. cables, poles and pipes).

CATARAQUI REGION CONSERVATION AUTHORITY
APPLICATION FORM
For Development, Interference with Wetlands and Alterations to
Shorelines and Watercourses Regulation 148/06

For CRCA use only
Appendix A to File Number

Date Received

Fee Paid
\$ _____

Note: Applications will not be processed if incomplete. Please review the instruction sheet provided with this form. We require:

1. A completed application form.
2. Four copies of all plans, specifications, notes and reports.
3. Payment of the processing fee.
4. A written authorization form from the property owner, if the applicant is not the owner of the property.

Location of the Property

Lot(s) _____ Concession(s) _____ Municipality _____
 Ward / Former Twp. _____ Registered Plan _____ Lot No. _____
 Municipal Street Address _____
 Assessment Roll Number _____ Waterbody _____
 Directions to Property _____

Mailing Information

Name of Owner _____ Mailing Address _____
 City/Town _____ Postal Code _____
 Telephone Number: Home _____ Business _____
 Fax Number _____ E-mail Address _____

Name, Address and Telephone Number of Applicant (if different from above)

Application is hereby made to (check all that apply):

- | | | |
|--|---|---|
| <input type="checkbox"/> place fill
<input type="checkbox"/> remove fill
<input type="checkbox"/> grade fill

<input type="checkbox"/> construct a pond/reservoir
<input type="checkbox"/> stormwater
<input type="checkbox"/> other

<input type="checkbox"/> construct a dam or dyke | <input type="checkbox"/> erect/place a new building/structure

<input type="checkbox"/> alter an existing structure
<input type="checkbox"/> addition
<input type="checkbox"/> renovation
<input type="checkbox"/> alter a shoreline or place shore protection
<input type="checkbox"/> bioengineering
<input type="checkbox"/> revetment/sloped bank
<input type="checkbox"/> retaining wall
<input type="checkbox"/> boat launch, ramp or dock

<input type="checkbox"/> alter an existing watercourse
<input type="checkbox"/> channelization or realignment
<input type="checkbox"/> utility crossing
<input type="checkbox"/> road/lane crossing | <input type="checkbox"/> dewater a site

<input type="checkbox"/> maintain infrastructure
<input type="checkbox"/> clean out
<input type="checkbox"/> replacement
<input type="checkbox"/> other (please specify)

<input type="checkbox"/> interfere with an existing wetland |
|--|---|---|

Purpose of proposed work _____

Approximate Dimensions of Proposed Work

fill volume (cubic m.) _____ building size (sq. m.) _____ area of project (sq. m.) _____
 shoreline length (m.) _____ bank height (m.) _____ channel length (m.) _____
 channel width (m.) _____ length of crossing (m.) _____

Timing of Proposed Work

Start date: month _____ year _____ Completion date: month _____ year _____

Property Details

Existing use of the property _____
 Proposed use (if different from above) _____
 Concurrent Planning Act application(s)? (specify) _____

I declare that the above information is correct to the best of my knowledge.

Dated at _____ this _____ day of _____, 20____.

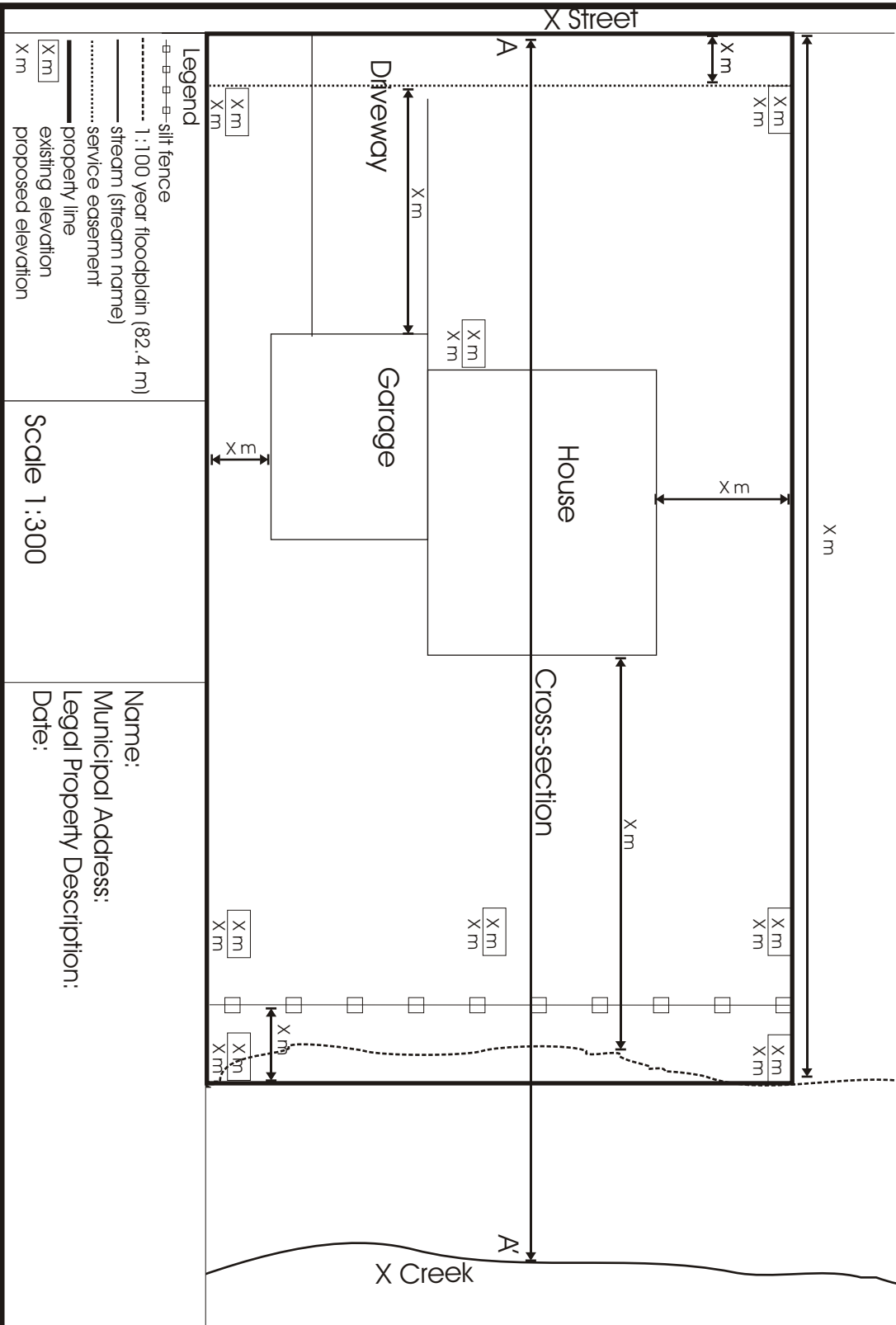
 Signature of Owner Signature of Applicant (if different)

Any false information or misleading statements made on this application will render any permission granted by the Cataraqui Region Conservation Authority null and void.



Plan View Drawing Example

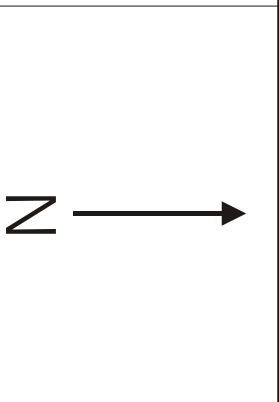
Development and Grading



- Legend**
- - - - - silt fence
 - 1:100 year floodplain (82.4 m)
 - stream (stream name)
 - service easement
 - property line
 - existing elevation
 - proposed elevation

Scale 1:300

Name:
Municipal Address:
Legal Property Description:
Date:



Example Drawing Notes

- 1) Light duty woven silt fence
- 2) A continuous silt fence will be installed 5 metres from the rear property line (i.e. outside the floodplain) before site disturbance.
- 3) Such fence will be maintained until vegetation has been reestablished on all bare soil areas created during construction.
- 4) Once vegetation has been reestablished the silt fence will be removed and any material built up behind the fence placed in a suitable upland location.
- 5) The lot will be vegetated by September 30 of this year.
- 6) No fill will be placed or graded in the floodplain.

Cross-section Drawing Example

Development and Grading

